

ADDENDUM NO. 4

Rochester City School District

Dr. Walter Cooper, School #10

SED Control#: 26-16-00-01-0-037-021

SED DWT Control #: 26-16-00-01-7-999-020

SEI Project No.: 17-3016

March 9th, 2018



GENERAL INSTRUCTIONS:

- Include this Addendum as part of the Construction Documents. This Addendum supplements portions of the original Drawings and Specifications, the intent of which shall remain, except as revised herein.
- Work described in this Addendum shall be in accordance with the Specifications for like items in remainder of project and complete with all labor and materials included.

REVISIONS TO THE PROJECT MANUAL:

SECTION "0112 00 - MULTIPLE CONTRACT SUMMARY"

- Item AD4-1 **ADD** the following Sub-Paragraph to Article "1.6 GENERAL CONSTRUCTION SPECIFIC SCOPE OF WORK," Paragraph H, Sub Paragraph 2:
- "f. All basement floors, footings, and foundations shall be completely removed from the site unless specifically stated. Depressions which result from removal of structures, footings, and other obstructions, shall be filled and compacted with clean fill materials. After all demolition,

removal and abandonment work is complete, the Contractor shall grade the entire contract area by properly filling, compacting, and leveling the site to existing adjacent grades or to lines and grades shown on the approved plans.”

SECTION “06 40 23 – INTERIOR ARCHITECTURAL WOODWORK”

- Item AD4-2 **ADD** the following Paragraph to Article “2.7 WOOD CABINETS FOR TRANSPARENT FINISH:”
“E. Cabinet base: Constructed separately from cabinet using exterior grade plywood”
- Item AD4-3 **ADD** the following Paragraph to Article “2.8 PLASTIC LAMINATE CABINETS:”
“I. Wall cabinet bottom: 1” core thickness
J. Cabinet base: Constructed separately from cabinet using exterior grade plywood”
- Item AD4-4 **ADD** the following Paragraph to Article “2.9 PLASTIC-LAMINATE-CLAD COUNTERTOPS AND SHELVES:”
“J. Shelves 29” or less in width: ¾” core thickness
K. Shelves 30” or greater in width: 1” core thickness”
- Item AD4-5 **ADD** the following Paragraph to Article “2.11 PEG BOARD:”
“I. Provide the quantities of accessories listed above per every 4’-0” section of pegboard.”

SECTION “08 11 13 – HOLLOW METAL DOORS AND FRAMES”

- Item AD4-6 **ADD** the following Article to “Part 2 – PRODUCTS:”
“2.12 RATED STEEL FRAMES
- A. Basis of Design: “Fireframes® Heat Barrier Series” fire-rated [steel] frame system as manufactured and supplied by Technical Glass Products, 8107 Bracken Place SE, Snoqualmie, WA 98065 phone (800.426.0279) fax (425.396.8300) e-mail sales@fireglass.com web site <http://www.fireglass.com>
- B. Rating: As indicated on the drawings
- C. Frame: profiled formed tubing permanently joined with steel bolts
1. Fully welded frames
 2. Knock-down frames are not permitted
- D. Insulation: Insulate framing system against effects of fire, smoke, and heat transfer from either side. Insulate profiled steel tubing using a shell construction that incorporates Promatect-H intermediate interlayer. Firmly pack perimeter of framing system to rough opening with mineral wool fire stop insulation or appropriately rated intumescent sealant.
- E. Steel Glazing Beads: Extruded steel beads with dimensions recommended by manufacturer to securely hold glazing material in place.
- F. Fasteners: Type recommended by manufacturer.
- G. Glazing:
1. Glazing Gaskets, Compounds and tapes: Type recommended by manufacturer.
 2. Field glaze frame assemblies
- H. Finish:
1. Finish after fabrication.
 2. Appearance of Finished Work: Variations in appearance of abutting or adjacent pieces are acceptable. Noticeable variations in the same piece are not acceptable.
 3. Interior and Exterior Steel Finishes (Note: this finish is suitable for exterior exposed portions of the wall systems, including extruded aluminum covers)
 - a. Powder-Coat Finish: Polyester Super Durable powder coating which meets AAMA 2604 for chalking and fading. Apply manufacturer's standard powder coating finish system applied to factory-assembled frames before

shipping, complying with manufacturer's recommended instructions for surface preparation including pretreatment, application, and minimum dry film thickness.

- b. Color and Gloss: As selected by Architect from manufacturer's full range."

SECTION "08 81 00 - GLASS AND GLAZING"

Item AD4-7 **ADD** the following Paragraph to Article "2.12 MONOLITHIC-GLASS TYPES:"

"C. **Glass type TG-3:** 20 minute fire rated, impact safety rated, clear glass.

1. Basis-of-Design Product: "Fireglass 20" by Nippon Electric Glass Co., Ltd., and distributed by Technical Glass Products.
2. Fire Rating: 20 minute
3. Thickness: 6 mm float glass
4. Approx. visible transmission: 89%
5. Approx. visible reflection: 8%
6. Impact safety rating: ANSI Z97.1 and CPSC 16CFR1201 (Cat. I and Cat. II)"

REVISIONS TO THE DRAWINGS:

DRAWING "G1001 - CODE COMPLIANCE"

Item AD4-8 **REVISE** the east wall of Stair ST01 on drawing 2/G1001 to be a 2 hour fire barrier assembly.

DRAWING "G1002 - CODE COMPLIANCE"

Item AD4-9 **ADD** fire proofing type 1 hatch to structural steel at the roof canopies adjacent to vestibules V3 and V6.

DRAWING "HM1000a - LOWER LEVEL FLOOR PLAN AREA A"

Item AD4-10 **ADD** the following note to the "ABATEMENT KEYNOTES:"

"A5. THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) ON PIPING IN THIS ROOM. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION (TSI) COMPLETE. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION."

Item AD4-11 **REVISE** "ABATEMENT KEYNOTE" number A6a to read as follows:

"A6a. BUILDING AREA "A" CRAWLSPACES (AND ADJOINING CRAWLSPACES AS DEFINED) - BUILDING AREA SCHEDULED FOR DEMOLITION: THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) DEBRIS ON THE SOIL IN THE CRAWLSPACES. IT IS PRESUMED THAT THE SOIL IN THE CRAWLSPACES ARE ASBESTOS-CONTAMINATED. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION DEBRIS (TSI) COMPLETE. THE AC SHALL REMOVE & DISPOSE OF A LAYER OF SOIL (MIN. 3" DEEP) FROM THE ENTIRE FOOTPRINT OF ALL CRAWLSPACES, COMPLETE. SEE DETAIL 2/HM1000a FOR ADDITIONAL INFORMATION. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION."

DRAWING "HM1000b - LOWER LEVEL FLOOR PLAN AREA B"

Item AD4-12 **ADD** the following note to the "ABATEMENT KEYNOTES:"

“A5. THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) ON PIPING IN THIS ROOM. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION (TSI) COMPLETE. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION.”

Item AD4-13 **REVISE** “ABATEMENT KEYNOTE” number A6a to read as follows:

“A6a. BUILDING AREA "A" CRAWLSPACES (AND ADJOINING CRAWLSPACES AS DEFINED) - BUILDING AREA SCHEDULED FOR DEMOLITION: THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) DEBRIS ON THE SOIL IN THE CRAWLSPACES. IT IS PRESUMED THAT THE SOIL IN THE CRAWLSPACES ARE ASBESTOS-CONTAMINATED. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION DEBRIS (TSI) COMPLETE. THE AC SHALL REMOVE & DISPOSE OF A LAYER OF SOIL (MIN. 3" DEEP) FROM THE ENTIRE FOOTPRINT OF ALL CRAWLSPACES, COMPLETE. SEE DETAIL 2/HM1000a FOR ADDITIONAL INFORMATION. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION.”

DRAWING “HM1001a – FIRST FLOOR PLAN AREA A”

Item AD4-14 **ADD** the following note to the “ABATEMENT KEYNOTES:”

“A5. THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) ON PIPING IN THIS ROOM. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION (TSI) COMPLETE. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION.”

Item AD4-15 **REVISE** “ABATEMENT KEYNOTE” number A6a to read as follows:

“A6a. BUILDING AREA "A" CRAWLSPACES (AND ADJOINING CRAWLSPACES AS DEFINED) - BUILDING AREA SCHEDULED FOR DEMOLITION: THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) DEBRIS ON THE SOIL IN THE CRAWLSPACES. IT IS PRESUMED THAT THE SOIL IN THE CRAWLSPACES ARE ASBESTOS-CONTAMINATED. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION DEBRIS (TSI) COMPLETE. THE AC SHALL REMOVE & DISPOSE OF A LAYER OF SOIL (MIN. 3" DEEP) FROM THE ENTIRE FOOTPRINT OF ALL CRAWLSPACES, COMPLETE. SEE DETAIL 2/HM1000a FOR ADDITIONAL INFORMATION. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION.”

DRAWING “HM1001b – FIRST FLOOR PLAN AREA B”

Item AD4-16 **ADD** the following note to the “ABATEMENT KEYNOTES:”

“A5. THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) ON PIPING IN THIS ROOM. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION (TSI) COMPLETE. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION.”

Item AD4-17 **REVISE** “ABATEMENT KEYNOTE” number A6a to read as follows:

“A6a. BUILDING AREA "A" CRAWLSPACES (AND ADJOINING CRAWLSPACES AS DEFINED) - BUILDING AREA SCHEDULED FOR DEMOLITION: THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) DEBRIS ON THE SOIL IN THE CRAWLSPACES. IT IS PRESUMED THAT THE SOIL IN THE CRAWLSPACES ARE ASBESTOS-CONTAMINATED. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION DEBRIS (TSI) COMPLETE. THE AC SHALL REMOVE & DISPOSE OF A LAYER OF SOIL (MIN. 3" DEEP) FROM THE ENTIRE FOOTPRINT OF ALL CRAWLSPACES, COMPLETE. SEE DETAIL 2/HM1000a FOR ADDITIONAL INFORMATION. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION.”

DRAWING “HM1002 – SECOND FLOOR ABATEMENT PLAN”

Item AD4-18 **ADD** the following note to the “ABATEMENT KEYNOTES:”
 “A5. THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) ON PIPING IN THIS ROOM. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION (TSI) COMPLETE. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION.”

Item AD4-19 **REVISE** “ABATEMENT KEYNOTE” number A6a to read as follows:
 “A6a. BUILDING AREA "A" CRAWLSPACES (AND ADJOINING CRAWLSPACES AS DEFINED) - BUILDING AREA SCHEDULED FOR DEMOLITION: THERE IS ASBESTOS-CONTAINING PIPE INSULATION (TSI) DEBRIS ON THE SOIL IN THE CRAWLSPACES. IT IS PRESUMED THAT THE SOIL IN THE CRAWLSPACES ARE ASBESTOS-CONTAMINATED. THE AC SHALL REMOVE & DISPOSE OF ALL PIPE INSULATION DEBRIS (TSI) COMPLETE. THE AC SHALL REMOVE & DISPOSE OF A LAYER OF SOIL (MIN. 3" DEEP) FROM THE ENTIRE FOOTPRINT OF ALL CRAWLSPACES, COMPLETE. SEE DETAIL 2/HM1000a FOR ADDITIONAL INFORMATION. SEE ABATEMENT LEGEND & SCHEDULE FOR ADDITIONAL INFORMATION.”

DRAWING “S2001 – PARTIAL FOUNDATION PLAN”

Item AD4-20 **ADD** the following general demolition note to the drawing S2001:
 “15. Following demolition of the existing building, excavate and remove all construction debris, deleterious materials, and unsatisfactory soil to suitable subgrade elevation as determined by the Owner’s Geotechnical Engineer; proof-roll and prepare subgrade soils. Backfill excavations with subbase material, placed in compacted lifts, to the required subgrade elevation. Refer to Architectural drawings for limits of demolition.”

DRAWING “S2002 – PARTIAL FOUNDATION PLAN”

Item AD4-21 **ADD** the following general demolition note to the drawing S2001:
 “15. Following demolition of the existing building, excavate and remove all construction debris, deleterious materials, and unsatisfactory soil to suitable subgrade elevation as determined by the Owner’s Geotechnical Engineer; proof-roll and prepare subgrade soils. Backfill excavations with subbase material, placed in compacted lifts, to the

DRAWING “A1102 – FLOOR PLAN – FIRST FLOOR AREA A”

Item AD4-22 **ADD** the attached sketch “AD4-A001 – PARTIAL PLAN OF LOADING DOCK.” Revised details at dock leveler.

DRAWING “A1230 – DOOR SCHEDULE AND FRAME TYPES”

Item AD4-23 **CLARIFICATION:** The exterior walls of Stair ST01 and Stair ST02 are rated as a 2 hour fire barrier. Any penetration through these walls needs to be rated, refer to the door schedule and window types for additional information.

Item AD4-24 **REVISE** doors 115-1, ST-02-3 and ST04-2 as indicated below:

DOOR NO.	DOOR LEAFS	DOOR WIDTH	DOOR HEIGHT	DOOR THICK	DOOR TYPE	DOOR MATERIAL - FINISH	FRAME TYPE	FRAME MATERIAL -FINISH	FRAME JAMB DETAIL	FRAME HEAD DETAIL	RATING (IN MINUTES)	GLAZING TYPE	HARDWARE GROUP
115-1	2	3'-0"	7'-0"	0'-1 ¾"	NL	FRP-FF	F2	ALUM-FF	J3	H3	90	FG-2	E13
ST02-3	2	3'-0"	7'-0"	0'-1 ¾"	NL	AMP-FF	F6	ALUM-FF	J3	H3	90	FG-2	E10
ST04-2	1	3'-0"	7'-0"	0'-1 ¾"	F	FRP-FF	F2	ALUM-FF	J3	H3	-	-	38

Item AD4-25 **CLARIFICATION:** No glass is required for frame type F17. This frame is for access panels in mechanical rooms.

Item AD4-26 **REPLACE** all references to glazing type LG-2 in the door schedule with TG-3 excluding the following doors: 100-1, 100-2, 143-1, 143-2, 201-1, 202-1, 203-1, 204-1 and V1-2.

DRAWING "A1232 - BORROWED LITE TYPES"

Item AD4-27 **ADD** the following note to borrowed lite types BL14, BL21 and BL23:
"60 MINUTE RATED STEEL FRAME ASSEMBLY"

Item AD4-28 **ADD** the following note to borrowed lite types BL1, BL2, BL3, BL4, BL5, BL6, BL10, BL11, BL12, BL13, BL15, BL16, BL17, BL18, BL19 and BL20:
"120 MINUTE RATED STEEL FRAME ASSEMBLY"

DRAWING "A1311 - WALL SECTIONS"

Item AD4-29 **ADD** the following note to drawing 1/A1311:
"PROVIDE CONTINUOUS 4" WIDE VENT AT THE EAST AND WEST ENDS OF THE LINEAR METAL SOFFIT, FINISH TO BE SELECTED BY THE ARCHITECT."

DRAWING "A1312 - WALL SECTIONS"

Item AD4-30 **ADD** the following note to drawing 1/A1312:
"PROVIDE CONTINUOUS 4" WIDE VENT AT THE EAST AND WEST ENDS OF THE LINEAR METAL SOFFIT, FINISH TO BE SELECTED BY THE ARCHITECT."

DRAWING "A1313 - WALL SECTIONS"

Item AD4-31 **ADD** the following note to drawing 1/A1313:
"PROVIDE CONTINUOUS 4" WIDE VENT AT THE EAST AND WEST ENDS OF THE LINEAR METAL SOFFIT, FINISH TO BE SELECTED BY THE ARCHITECT."

DRAWING "A1315 - WALL SECTIONS"

Item AD4-32 **ADD** the following note to drawing 1/A1315:
"PROVIDE CONTINUOUS 4" WIDE VENT AT THE EAST AND WEST ENDS OF THE LINEAR METAL SOFFIT, FINISH TO BE SELECTED BY THE ARCHITECT."

DRAWING "A1500 - ENLARGED PLAN AND INTERIOR ELEVATIONS - CLASSROOMS"

Item AD4-33 **REVISE** "GENERAL CONSTRUCTION NOTE" number 1 to read as follows:
"1. Base cabinets, wall cabinets, wardrobe units and miscellaneous woodwork tagged with this symbol, , is manufactured wood casework. The basis of design for manufactured wood casework is LSI Corporation of America, Inc. Any untagged cabinetry or desks shall be interior architectural workwork."

DRAWING "A1501 - ENLARGED PLAN AND INTERIOR ELEVATIONS - OFFICES"

Item AD4-34 **REVISE** "GENERAL CONSTRUCTION NOTE" number 1 to read as follows:
"1. Base cabinets, wall cabinets, wardrobe units and miscellaneous woodwork tagged with this symbol, , is manufactured wood casework. The basis of design for manufactured wood casework

is LSI Corporation of America, Inc. Any untagged cabinetry or desks shall be interior architectural workwork.”

DRAWING “A1502 – INTERIOR ELEVATIONS – LIBRARY”

Item AD4-35 **REVISE** “GENERAL CONSTRUCTION NOTE” number 1 to read as follows:

“1. Base cabinets, wall cabinets, wardrobe units and miscellaneous woodwork tagged with this symbol, , is manufactured wood casework. The basis of design for manufactured wood casework is LSI Corporation of America, Inc. Any untagged cabinetry or desks shall be interior architectural workwork.”

DRAWING “A1502 – INTERIOR ELEVATIONS – CLASSROOMS”

Item AD4-36 **ADD** “GENERAL CONSTRUCTION NOTE” number 1 to read as follows:

“1. Base cabinets, wall cabinets, wardrobe units and miscellaneous woodwork tagged with this symbol, , is manufactured wood casework. The basis of design for manufactured wood casework is LSI Corporation of America, Inc. Any untagged cabinetry or desks shall be interior architectural workwork.”

DRAWING “A1503 – INTERIOR ELEVATIONS – LIGHTCOURT, EVENT LOBBY & CAFETERIA”

Item AD4-37 **REPLACE** drawing 5/A1503 with the attached sketch “AD4-A003 – INTERIOR ELEVATION.”

Item AD4-38 **REVISE** callouts on 3/A1607 on drawing 2/A1503 to read “2/A1607.”

Item AD4-39 **ADD** Floor Plan Keynote number 45 to drawing 6/A1503.

DRAWING “A1601 – DETAILS”

Item AD4-40 **REPLACE** drawing 5/A1601 with the attached sketch “AD4-A002 – SECTION AT DOCK LEVELER.”

DRAWING “A1604 – DETAILS”

Item AD4-41 **REPLACE** the note “3/4” MAPLE VENEER PLYWOOD PANEL W/ CLEAR FINISH” in its entirety with the following note:
“HIGH PRESSURE PLASTIC LAMINATE PANEL, REFER TO GYM INTERIOR ELEVATION 4/A1508 FOR SIZING AND SPACING. FINISH TO BE SELECTED BY ARCHITECT”

Item AD4-42 **ADD** the following general note to drawings 4/A1604 and 7/A1604:
“The elevation of the ½” FT plywood cap shall be the same on all walls in the gymnasium. Coordinate the height of the partial CMU wall and the wood cap with the elevation of the steel beam.”

DRAWING “P1102 – PROPOSED PARTIAL FIRST FLOOR AREA A PLUMBING PLAN”

Item AD4-43 **ADD** the attached sketch “AD4-PO01 – PLUMBING REVISION” to drawing P1102.

Item AD4-44 **DELETE** reference to floor drain in storage room 115A and all associated piping.

DRAWING “P1104 – PROPOSED PARTIAL SECOND FLOOR AREA A PLUMBING PLAN”

Item AD4-45 **ADD** the attached sketch “AD4-PO02 – PLUMBING REVISION” to drawing P1104.

ATTACHMENTS:

SKETCHES:

ARCHITECTURAL

AD4-A001 PARTIAL PLAN OF LOADING DOCK
AD4-A002 SECTION AT DOCK LEVELER
AD4-A003 INTERIOR ELEVATION

PLUMBING

AD4-PO01 PLUMBING REVISION
AD4-PO02 PLUMBING REVISION

GENERAL:

PRE-BID RFI Log dated 3/9/2018

End of Addendum No. 4



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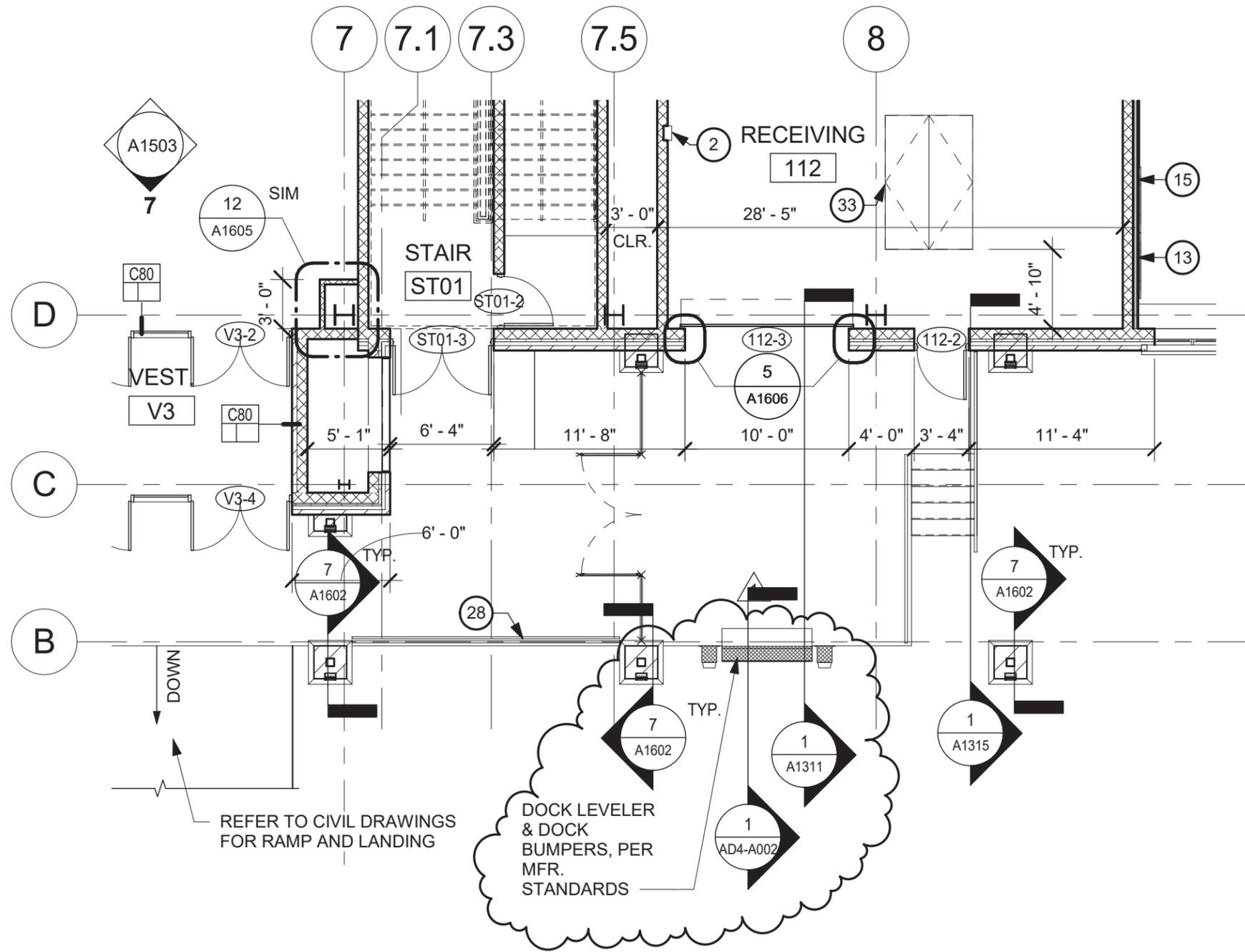
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**ROCHESTER CITY
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**DR. WALTER
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#10**

SCHOOL 10
353 CONGRESS AVE.
ROCHESTER, NEW YORK 14619

SED Control No. 26-16-00-01-0-037-021



1 PARTIAL FIRST FLOOR
1/8" = 1'-0"

BID DOCUMENTS

Date 03/09/18 SEI Project No. 17-3016

Revisions

1 03/09/18 ADDED DOCK LEVELER

**PARTIAL PLAN OF LOADING
DOCK**

AD4-A001

Reference DWG. 1/A1102



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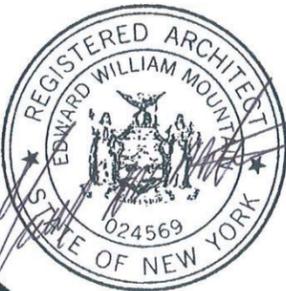
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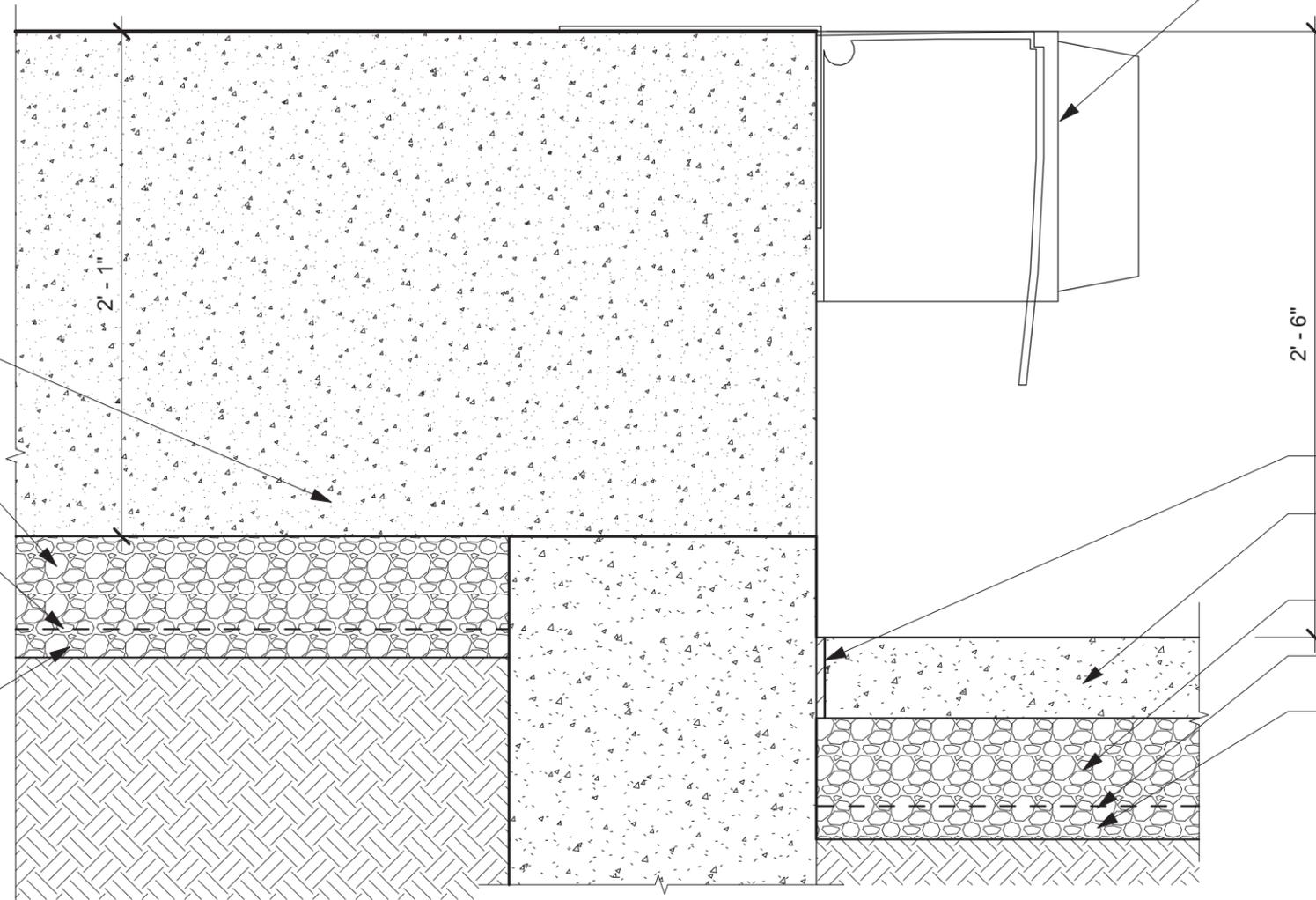
Revisions

SECTION AT DOCK LEVELER

AD4-A002

Reference DWG. 1/A1103

DOCK LEVELER & DOCK BUMPERS,
ATTACH PER MFR. STANDARDS



REINF. CONC., REFER
TO STRUCTURAL DWGS.

4\" VAPOR RETARDER
COVER

VAPOR RETARDER
MEMBRANE

2\" MIN. DRAINAGE
FILL COURSE

ISOLATION JOINT

REINF. CONC. S.O.G.,
REFER TO STRUCTURAL
DWGS.

4\" VAPOR RETARDER COVER

VAPOR RETARDER MEMBRANE

2\" MIN. DRAINAGE FILL COURSE

1 SECTION AT DOCK LEVELER
1 1/2\" = 1'-0\"



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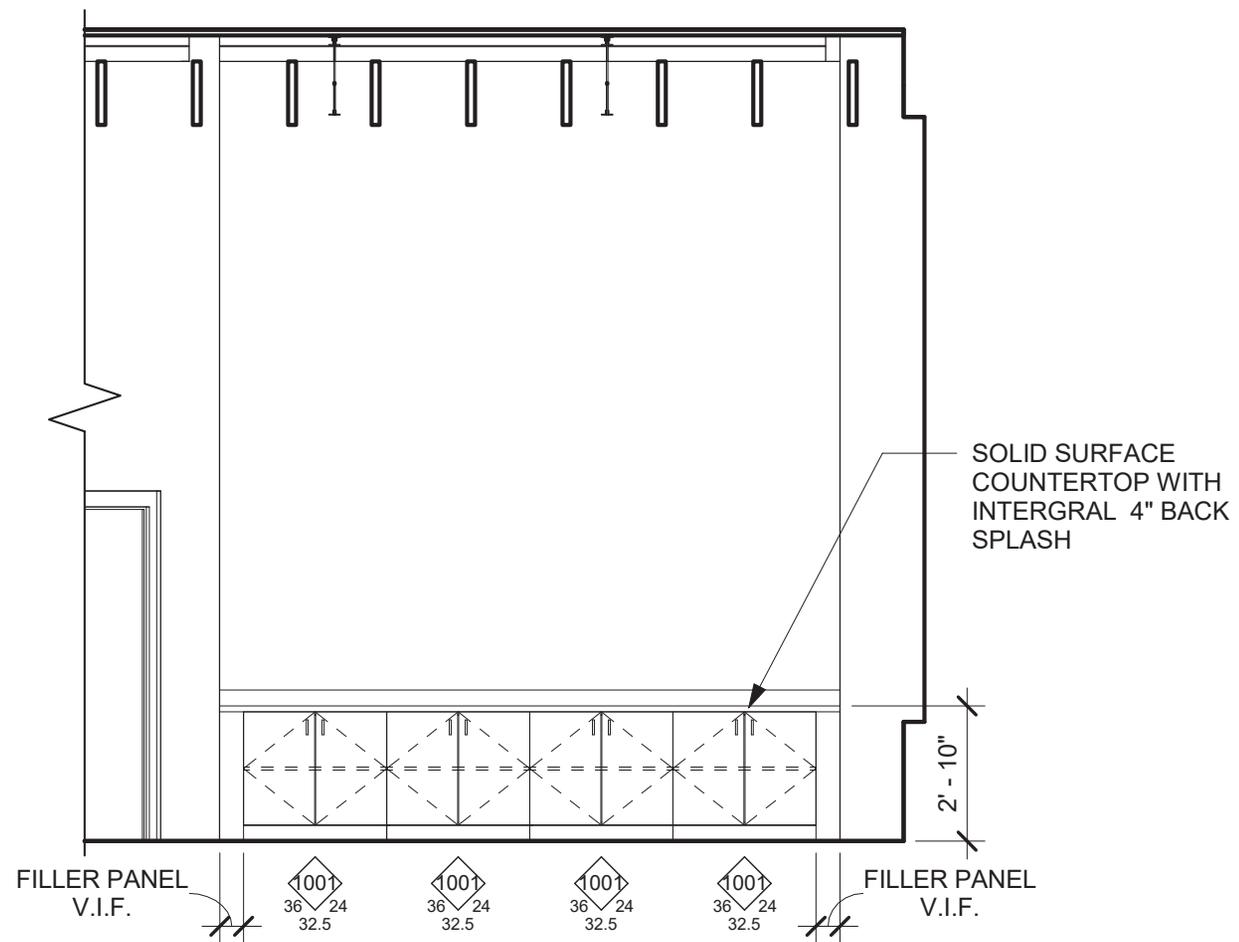
Date 03/09/18 SEI Project No. 17-3016

Revisions

INTERIOR ELEVATION

AD4-A003

Reference DWG. 5/A1503



1 INTERIOR ELEVATION - CAFETERIA 116, EAST
1/4" = 1'-0"

3/9/2018 3:59:49 PM

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SED Control No. 26-16-00-01-0-037-021



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Date **03/09/18** SEI Project No. **17-3016**

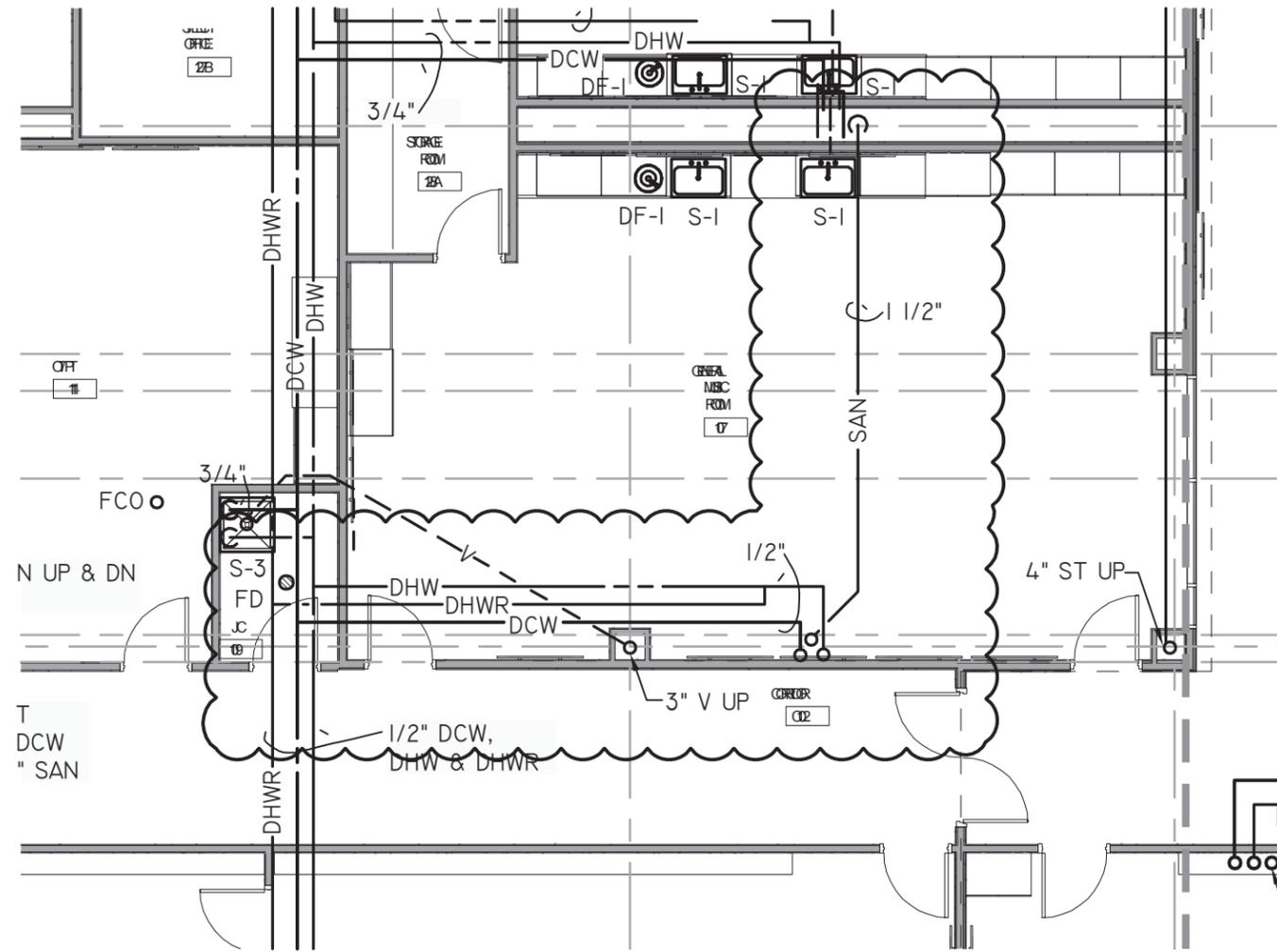
Revisions

1 03/09/18 BID ADDENDUM #4

PLUMBING REVISION

AD4-P001

Reference DWG P1102



PROPOSED PARTIAL FIRST FLOOR AREA A PLUMBING PLAN

SCALE: 1/8" = 1'-0"



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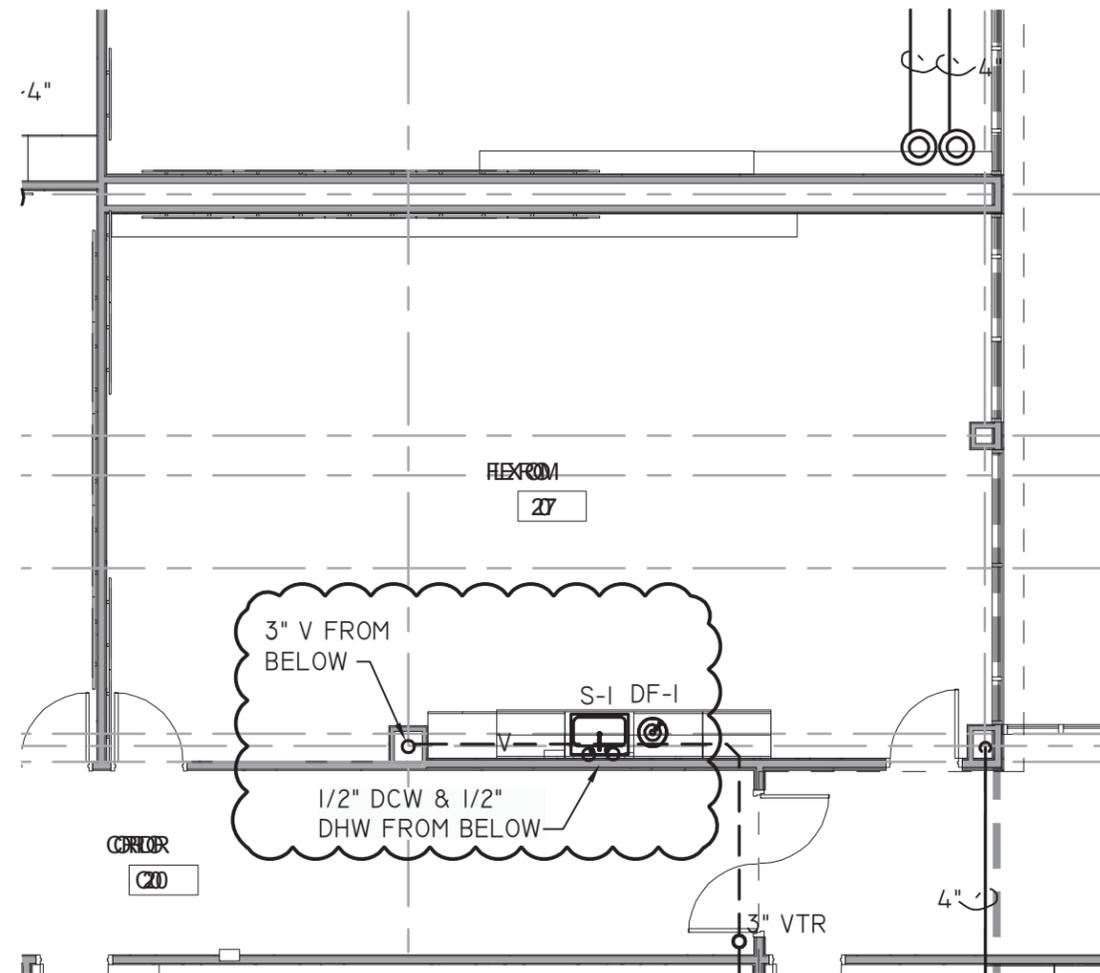


Date	03/09/18	SEI Project No	17-3016
Revisions			
1	03/09/18	BID ADDENDUM #4	

PLUMBING REVISION

AD4-P002

Reference DWG P1104



**PROPOSED PARTIAL SECOND FLOOR
AREA A PLUMBING PLAN**



SCALE: 1/8" = 1'-0"



This document is not an official part of the construction documents and is being provided to the bidders for information purposes only.

RFI #	Date	Company	Question	Responded by:	Answer
1	15-Feb-18	DCI	In reference to Note 1 for detail 4 on drawing S5001, a unit price for removal of existing fill is mentioned. However, there is no unit price listed for this on the bid form.	SEI	Refer to item AD2-22
2	15-Feb-18	Johnston Equipment Company	Drawing H1600, Pump Schedule. There are 7 different pumps numbered HWCP-1. Should these have separate numbers such as HWCP-1, HWCP-2, etc.? Also, the first two HWCP pumps listed for air handlers AHU-1, 2, 3&4. Should this be two pumps or four?	SEI	Refer to item AD2-43
3	16-Feb-18	DCI	In reference to Notes A8 and A9 on drawing HM1002, the notes mention two add alternates for the abement contractor (HM-01 and HM-02). However, these are not listed in the alternate spec (004323) or the Bid Form (004116).	SEI	Refer to item AD2-16 and AD2-17
4	19-Feb-18	Manning Squires Hennig Co.	In specification section 015000, page 3 item 1.4E makes reference to general construction contractor (contract #1) is responsible for payment of utilities, which utilities are they responsible for?	SEI	Refer to item AD3-6
5	20-Feb-18	DCI	Per section 12 2413 - it calls out for a light filtering and light blocking fabric. Please advise locations for both types of fabrics. Also, Can you be more specific on the type of fabric you want.	SEI	Refer to key notes on revised floor plans items AD3-93 thru AD3-96
6	22-Feb-18	DCI	In reference to spec section 015000, section 1.4E mentions general contractor is responsible for payment of utilities. However, Section 1.4B, 1.4C and 1.4D say these utilities are available for use without metering or payment of use charges. Please Clarify.	SEI	Refer to item AD3-6
7	23-Feb-18	Manning Squires Hennig Co.	On drawing S2006 there is a note to add 2x10 at each existing joist, can you please define the limits that this work is to take place over? Please respond via addendum ASAP.	SEI	Refer to item AD2-20
8	23-Feb-18	Manning Squires Hennig Co.	On drawing S2008 there is a boxed note "ADD SHORING NOTE", what does this apply to? Please respond via addendum ASAP.	SEI	Refer to item AD2-21
9	26-Feb-18	DCI	Existing grade in the basement appears to be much less than the 5'-0" shown on detail 6/S6006. Can the pier footing be placed below the existing grade, or do we have to dig down 6'-0" below to set the footing?	SEI	Refer to item AD3-85
10	26-Feb-18	Manning Squires Hennig Co.	1. Section 2/A1317 calls out detail 3/A1318 showing concrete wall at light court refer to structural drawings. This wall does not show on the structural drawings, please advise on extent and details for size and reinforcing.	SEI	Refer to item AD3-54
			2. Section 1/A1606 calls out a concrete wall refer to structural drawings at event lobby bench. This wall does not show on the structural drawings, Please advise on extent and detail for the size and reinforcing. Please repond via addendum ASAP.	SEI	Refer to item AD3-52
11	26-Feb-18	Manning Squires Hennig Co.	Section 2/S6007 shows areaway walls CIP concrete walls. Floor plan A1101 Seems to show these walls as CMU, which is correct? If CMU walls please provide details for wall construction. Please respond via addendum ASAP.	SEI	Refer to item AD2-23
12	26-Feb-18	Manning Squires Hennig Co.	1. Per 2 on HM1000A, cleaning of existing structural members, walls, misc equipment with HEPA vac is required. Does this include locations that are scheduled for mass demolition in area A.	SEI	Yes
			2. AS on HM1000A is called out but not scheduled, please provide details regarding this note.	SEI	Refer to items AD4-10 thru AD4-19
			3. Per 013216 asbestos abatement needs to take place in 2 shifts six days a week what is the methodology behind this requirement?		
			4. What is the suggested means and methods of removing the ACM soil at the crawl space? Can a section of exterior wall be removed at area A prior to abatement activities so that easier access to the crawl space is possible? If not does the soil need to be bagged and then removed from the space?		
			5. At the walkthrough it was observed that the majority of the floor finish in area B is finished wood planks. In overlaying the demo and architectural drawings it shows multiple partitions that need to be removed and new openings in existing partitions. Is it know if the existing walls rest on top of finished wood planks or do they rest on the substrate below which looks to be unfinished wood planks? Furthermore, what is the procedure for patching or infilling areas where partitions are being removed created at this area this is not addressed by section 096400.	SEI	Refer to general note number 2 on drawing "A1700 - ROOM FINISH SCHEDULE, AND PATTERN DETAILS."
			6. Is wood wall trim at classrooms, corridors, windows etc. at partitions to remain to be left in place.	SEI	Refer to item AD3-92
			7. Is protection of the proscenium required by the general contractor?	SEI	Refer to item AD3-5
13	27-Feb-18	Manning Squires Hennig Co.	Drawing A1103 and others calls out section 1/A1310 which makes reference to the stepped slab in room C106 maker space/lightcourt. Section notes refer to structural drawings for details, structural drawings do not show any details. Please provide details including reinforcing and dimensions for these steps.		
14	27-Feb-18	Manning Squires Hennig Co.	1. Can you provide an elevation for the top of canopy shown in sections 1/A1311 and 1/A1315 as well as others?		
			2. What is the top of concrete elevation for concrete piers at the canopy columns? Structural drawings section 1/S6002 shows top of concrete -3'2" and architectural sections 1/A1311 and 1/A1315 appear to show at -6'2", which is correct?	SEI	Refer to item AD3-77
15	28-Feb-18	CASREPS	Page 11-13 of glazing spec calls out all the different glazing's for the project. I do not see the skylight glazing called out. Can you please clarify which glazing you would like us to bid? IG-1, IG-2 etc, listed currently a new skylight glazing section? Please consider the Bristolite unit skylight and metal framed skylight information as an equivalent to the wesco inits specified. we are the only other manufacture that can meet this specification.	SEI	Refer to specification "00 62 00 Unit Skylights" for unit skylight glazing. Refer to drawing "A1231 FENESTARTION TYPES AND DETAILS" for metal framed skylight glazing.
16	1-Mar-18	Manning Squires Hennig Co.	Drawing A1404 detail 8 calls out a stair section - Discovery Lab, please indicate where this occurs on the floor plan I can not seem to locate it.	SEI	Refer to revised floor plan item AD3-93
17	1-Mar-18	Casler Masonry	1. Alternate No.02 - Elevator E-02 - Structural drawings S2009 section 4 does not match Architectural drawing A1407 section 7 they have different foundations shown which is correct?	SEI	Refer to item AD3-50
			2. Basement interior partitions - do the partitions set on the concrete slab? Architectural drawing A1400 section 4 shows the partition going below the slab. Structural drawing S2001 does not show any interior footings or thicken slab.	SEI	Refer to item AD3-35
			3. Vertical CMU reinforcing - Structural drawings S6001 section 6 has a note that said 4" CMU w/vert. Reinforcing per general notes. General note 12 under CMU notes on S0001 not list vertical reinforcing for 6" and 4". Do these wall got vertical reinforcing?	SEI	Refer to item AD3-75
			4. Elevator E-01 - Structural drawings S6001 section 5 shows concrete foundation up to slab elevation. Architectural drawing A1406 section 4 shows concrete foundations stopping 8" below slab elevation. which is correct?		

			5. Column line 3 at gym first floor - Architectural drawing A1316 section 1 shows CMU walls sitting on a thicken slab below slab elevation structural drawings S2003 does not show anything along column line 3. Is this correct?	SEI	Refer to item AD3-39
			6. Architectural general information and partition types, sheet A001 - Typical exterior wall assemblies note 8" back up list colored ground face @ interior. Do not see any ground face finish listed on the finished schedule on sheet A1700. Is there any ground face required?	SEI	Refer to item AD3-90
18	1-Mar-18	Manning Squires Hennig Co.	Drawing A1405 calls out exterior stair sections for kitchen and classroom 136. Notes refer you to structural drawings for detail. There is a detail 13/S5001 showing typical exterior stair foundation, however it states to refer to plan for footings dimensions and top of footing elevations, these are not shown on the structural drawings. Please indicate dimensions required for footings and top of footing elevation for each of these locations.	SEI	Refer to item AD3-60
19	1-Mar-18	Manning Squires Hennig Co.	Drawing S2009 shows elevator for alternate #2 as a CMU shaft from mat footing to top of wall. Drawing A1407 shows a CIP concrete foundation wall for the first 3'-6" and then CMU shaft to top of wall. Which is correct? Please respond via addendum ASAP.	SEI	Refer to item item AD3-50
20	1-Mar-18	Concord	Is the school being closed down so we have access to the site during normal working hours all year?	SEI	Yes, the school will be closed for the 2018-2019 school year
21	1-Mar-18	T.G.R. Enterprises	Per detail 1/A1231, you are requesting new panning to go on all windows, unless otherwise noted. Currently, all windows have the same details, reference the same cut throughs and have the same notes, with the exception of W17, W18, W19 and W20. However, a. Per the HM drawings, you are requesting that existing windows be brought down to the masonry openings. We would have to rebuild all the openings with blocking to accommodate that panning. There is no detailing showing this. b. Per the architectural details provided, the panning will not fit on the windows with the head, sill and jamb conditions the way that they are drawn. c. At this current moment, we interpret the drawing to show that we will be providing panning at area B retrofit opening only based on the detailing. If this is an accurate. Could you please provide clarification on the intent of the panning on this project? Can you please provide details on how it is to be installed and clarification as to where on the building it is to be located.	SEI	Refer to item AD3-98
22	2-Mar-18	Highland Masonry	In Spec Section 072726-2.4 You are calling out the use of Barritech VP for an approved application of the air Barrier System, however in section 072726-2.5 C for accessories you are calling to use Dow Silicone Transition Strips at all openings. This is a conflict of two separate manufactures and could lead to compatibility or warranty issues, would you consider the use of Carlisle's transition strip instead of Dow's? <u>I have attached the data sheet for the proposed strip for your review.</u>		
23	5-Mar-18	Manning Squires Hennig Co.	1. Please provide architectural floor plan which shows the location of the elevator at Area B which is part of alternate 2. 2. 1-3 on A1407 references drawing A 1411 which is currently not included in the set, please provide		Refer to item AD3-104, AD3-105 and AD3-106
24	5-Mar-18	Concord	Can you pls advise how much allowance money we should carry for RG&E fees? The basic electrical requirements spec says 20K, but the electric service spec says 10K. Pls clarify if it is 10,20, or 30K?	SEI	Refer to item AD3-17
25	6-Mar-18	Concord	Regarding addendum 2, item ad2-9. It says the sound field systems specified herein, equipment only shall be furnished by the dwt contractor, which falls under the electrical scope. However, in the spec it states that all equipment in that spec is furnished by owner. Can you pls clarify what exactly we are responsible for? Do we furnish that material in that spec or not?		
26	6-Mar-18	Concord	Where is addendum drawing AD2-E007? I received the addendum but that drawing is not in there. Pls advise?	SEI	It was confirmed with Dataflow that these drawings were included in addendum #2. Please contact Dataflow if you do not have a full set of the addendum
27	6-Mar-18	Concord	Same with AD2-E014.	SEI	It was confirmed with Dataflow that these drawings were included in addendum #2. Please contact Dataflow if you do not have a full set of the addendum
28	6-Mar-18	Concord	AD2-E008 as well.	SEI	It was confirmed with Dataflow that these drawings were included in addendum #2. Please contact Dataflow if you do not have a full set of the addendum
29	7-Mar	Frontier Glass	1. Please note that the SEI has specified a very expensive product for the 20 minute rated doors and frames (note this product is used on 30,45,&90 minute framing and Doors). Attached is the product that should be used by the same manufacturer TGP. This product is called Fire Glass 20 and is about \$80 to \$90 less per sq/ft. 2. Frame F17 does not have a Glass type associated with it.		Refer to item AD4-26 Refer to item AD4-25
30	8-Mar	Flower City Glass	3. Door # ST02-3 has frame Type F9 listed. This should be Type F6 I think according to the exterior elevations. Due to the sizing of the glass and the rating that needs to be achieved; all of the 120 minute glass will need to be installed in a completely rated system (fire-rated storefront). This glass will not meet code if glazed into HM frames. Please advise.		Refer to item AD4-24 Refer to item AD4-7 and AD4-26
31	8-Mar	Frontier Glass	1. DR# 115-1, DR#ST01-3 & #ST04-2 are listed as FRP Entrance with a 90-minute fire rating. 2. DR# ST02-3 is listed as an AMP door with a 90-minute fire rating.		Refer to item AD4-23 and AD4-24 Refer to item AD4-23 and AD4-24
32	9-Mar	Draper	Per section 12 2413 - it calls out for a light filtering and light blocking fabric. Please advise locations for both types of fabrics. Also, Can you be more specific on the type of fabric you want.	SEI	Refer to key notes on revised floor plans items AD3-93 thru AD3-96